

Office of the Vice President
and Chief Financial Officer
Procurement Services
<https://procurement.ufl.edu/>

971 Elmore Drive
PO Box 115250
Gainesville, FL 32611-5250
(352) 392-1331 Fax 352-392-8837

June 5, 2019

ADDENDUM NUMBER 2 ON INVITATION TO BID ITB19KO-130

TITLE: Sid Martin Biotech Reroof

Mandatory pre-bid meeting was held at the site on May 21, 2019 at 1:30 PM. **Bid opening** will be held June 13, 2019 at 3:00 PM in UF Procurement Services, 971 Elmore Drive, Gainesville, FL 32611.

This addendum shall be considered part of the Contract Documents for the above mentioned project as though it had been issued at the same time and incorporated integrally therewith. Where provisions of the following supplementary data differ from those of the original Contract documents, this addendum shall govern and take precedence. Bidders are hereby notified that they shall acknowledge receipt of the addendum.

NOTES:

- Core sample results: Existing insulation is 3½" thick.
- See attached five (5) pages of architect's Addendum 2 dated June 4, 2019.
- See attached two (2) pages of revised Section 00310 - Bid Form.
- See attached revised Sheet A7.1 and Sheet A7.2.


Karen Olitsky
Procurement Agent III

**PLEASE ACKNOWLEDGE RECEIPT OF THIS ADDENDUM 2 AND RETURN WITH YOUR BID.
FAILURE TO ACKNOWLEDGE THIS ADDENDUM COULD CONSTITUTE REJECTION OF YOUR BID.**

VENDOR NAME

VENDOR ADDRESS

SIGNATURE



June 4, 2019

01460-25

MP 04676
UF SID MARTIN BIOTECH FACILITY REROOF
12085 Research Drive, Alachua, Florida

Addendum #2

This addendum is for the information of the Contractor and shall become part of the Contract Documents. This Addendum contains the following:

1. These five (5) typed pages.
2. Drawing sheets A7.1 & A7.2, revised 6-4-2019.

General:

- Q1. Does UF still require vendors to have an office within a certain number of miles from the campus?
- A1. There is not a mileage limit for this bid.
- Q2. Is a performance and payment bond required?
- A2. See Section 00100 – INSTRUCTION TO BIDDERS, 1.9 Performance and Payment Bonds.
- Q3: Can the coping work be clarified?
- A3: Reference attached detail 3/A7.1 revised 6/4/2019. The existing coping will be removed and replaced as indicated on this detail.
- Q4. Specification Section 01000 Scope of Work, paragraph 1. Re-roof.3, calls for installing fall protection system furnished by owner. Please provide information on what system the Owner is furnishing and where it is to be installed.
- A4. The fall protection system will consist of life-lines tied to stanchions. Installation of the fall protection system will be coordinated with the successful bidder. All bidders shall provide a unit cost for installing

one stanchion per roof manufacturer's details and attaching the life line to the station.

- Q5. The specs call out "Sarnafil" as the basis of design manufacturer, but please confirm if other manufacturers that meet the performance requirements are acceptable?
- A5. "Sarnafil" is the basis of design, any manufacturer/product that meets the specifications may bid the project.
- Q6. Is the alternate work of removing and replacing the existing skylights expected to be performed during the initial project schedule? Typical Kalwall lead times are 10-14 weeks for submittals and production. Due to material lead times there's opportunity that this work will not be able to be completed during the 90-day project schedule.
- A6. When submitting the cost for this alternate, also provide any additional contract time that may be required for completion.
- Q7. Can drawings be provided of the wall section details at the proposed ladder locations?
- A7. Yes. See detail 2/A7.2 on attached drawing A7.2, revised 6-4-2019.
- Q8. Can drawings be provided of the existing decking orientation?
- A8. Decking orientation is unknown.
- Q9. Is the existing edge metal of the penthouse to be removed and re-installed?
- A9. Remove and replace flashing only as required to protect new roof membrane. Complete removal and replacement of flashing is only required at the door sill & skylight curb as shown on 1/A7.1
- Q10. Can the builder substitute roofing system manufacturer's details in lieu of those detailed in the project drawings?
- A10. Manufacturer's details are acceptable upon shop drawing review. It is understood that the details may be required for the manufacturer's warranted design.
- Q11. If existing pipe/utility penetrations are less than the 8" min. stated in project drawing details is it the responsibility of the builder to extend the utilities?

- A11. Extend utilities as required to comply with UF Design & Construction Standards while maintaining roofing manufacturer's warranty.
- Q12. Owner responsibilities in the scope of work states that parapet walls shall be 39 inches or higher. If existing parapets are less than 39 inches is the owner going to raise the height of the parapets?
- A12. No.
- Q13. If moisture-laden is found is it to be replaced using the same attachment as the original insulation or as outlined in the project specs?
- A13. Install the new insulation as per the manufacturer's requirements for the new insulation.
- Q14. If decking below moisture-laden insulation is rusted does it need to be replaced or have a rust inhibitor applied to it?
- A14. Allow for application of rust inhibitor on the roof deck in your unit price for the replacement of the insulation.
- Q15. Can you confirm the availability and quantity of on-site parking?
- A15. There will be parking or space made available for parking.
- Q16. Can an area of the site be utilized for material lay-down and/or equipment storage?
- A16. Yes.
- Q17. Can the ground level of the cooling tower area be utilized roof access?
- A17. Yes.
- Q18. Are as-built drawings of the site utilities available?
- A18. Yes. They will be made available to the successful bidder.
- Q19. Is there an exterior water source available for use?
- A19. Yes.
- Q20. Will an office trailer be allowed to be placed on site?

- A20. Yes.
- Q21. Will the builder be required to accept UF's standard Purchase Order Terms and Conditions or will amendments be accepted?
- A21. No amendments will be accepted.
- Q22. The drawings indicate that the new Kalwall skylights are to be 6'-0" square outside curb dimension. At the prebid meeting we measured several of the existing skylight openings and they measured 7'-0" square outside curb dimension. Please confirm dimensions for new skylights?
- A22. The new skylights should be sized to fit the existing curbs. 7'-0" square is acceptable if that works with the existing conditions.
- Q23. In specification section 084523, paragraph 2.2.B, a thermally broken grid core is specified for the skylight panels. This is a cold climate, non-standard option and is not recommended for the hot and humid Florida climate. We strongly recommend utilizing the standard aluminum grid core for these panels.
- A23. Utilize the standard aluminum grid core for these panels.
- Q24. In specification section 084523, paragraph 2.3.E, the AAMA 1503 Condensation Resistance Factor test that is referenced is performed with an inside temperature of 70°F and outside temperature of 0°F. This is a cold climate test to measure condensation on the interior of a window. Not a test standard for Florida's climate and Kalwall's standard aluminum grid core. Please omit this test requirement if utilizing skylight panels' standard aluminum grid core (see RFI #2 above).
- A24. This requirement is omitted.
- Q25. Specification section 084523, paragraph 2.4.D.1, the specified skylight manufacture does not have an aluminum factory finish in unfinished "mill" color that meets AAMA 2604. They do offer (13) standard finish colors that meet the AAMA 2604 requirements.
- A25. The Owner will select the from the standard finish colors available.

End of Addendum #2

The Contractor shall acknowledge receipt of this Addendum in the space provided on the bid proposal. Please address any questions concerning the information contained herein to the undersigned.

Sincerely,



SVM

HOWARD J. McLEAN, JR.
A.I.A. LEED AP BD+C
FL LICENSE ARO014129
howard@svmarchitects.com

00310 - BID FORMS (Revised)

BID PROPOSAL

FROM: _____
(Name of Bidder)

TO: UNIVERSITY OF FLORIDA
PROCUREMENT SERVICES
971 Elmore Drive
P.O. Box 115250
Gainesville, Florida 32611-5250

The undersigned, hereinafter called "Bidder", having reviewed the Contract Documents for the Project entitled **ITB19KO-130, Sid Martin Biotech Reroof** and having visited and thoroughly inspected the site of the proposed Project and familiarized himself/herself with all conditions affecting and governing the construction of said Project, hereby proposes to furnish all labor, materials, equipment and other items, facilities and services for the proper execution and completion of the Project, in strict compliance with the Contract Documents, Addenda, and all other Documents relating thereto on file in Procurement Services, and, if awarded the Contract, to complete the said Work within the time limits called for in the Documents and as stated herein, for the sums as enumerated on this and the following pages:

BASE BID:

_____ Dollars

Figures: \$ _____

**ADD OR DEDUCT (CIRCLE ONE)
ALTERNATE #1:**

_____ Dollars

Figures: \$ _____

Additional Contract Time for Alternate 1: _____

UNIT PRICE FOR INSULATION REPLACEMENT: _____

UNIT PRICE FOR FALL PROTECTION: _____

ADDENDA:

Receipt of the following Addenda to the Construction Documents is acknowledged:

ADDENDUM # _____ Dated _____

ADDENDUM # _____ Dated _____

COMPLETION DATE:

All Work covered by the Bidding Documents and the foregoing Base Bid shall be completed and ready for Owner's occupancy as specified in the contract documents.

SIGNATURE:

I hereby certify that for all statements and amounts herein made on behalf of

(Name of Bidder)

a (Corporation) (Partnership) (Individual) organized and existing under the laws of the State of Florida, I have carefully prepared this Bid Proposal from Contract Documents described hereinbefore, I have examined Contract Documents and local conditions affecting execution of Work before submitting this Bid Proposal, I have full authority to make the statements and commitment herein and submit this Bid Proposal in (its) (their) behalf, and all statements are true and correct.

Signed and sealed this _____ day of _____, 2019.

(Signature of Bidder)

(Print Name)

(Title)

WITNESS:

(Signature of Witness)

(Print Name)

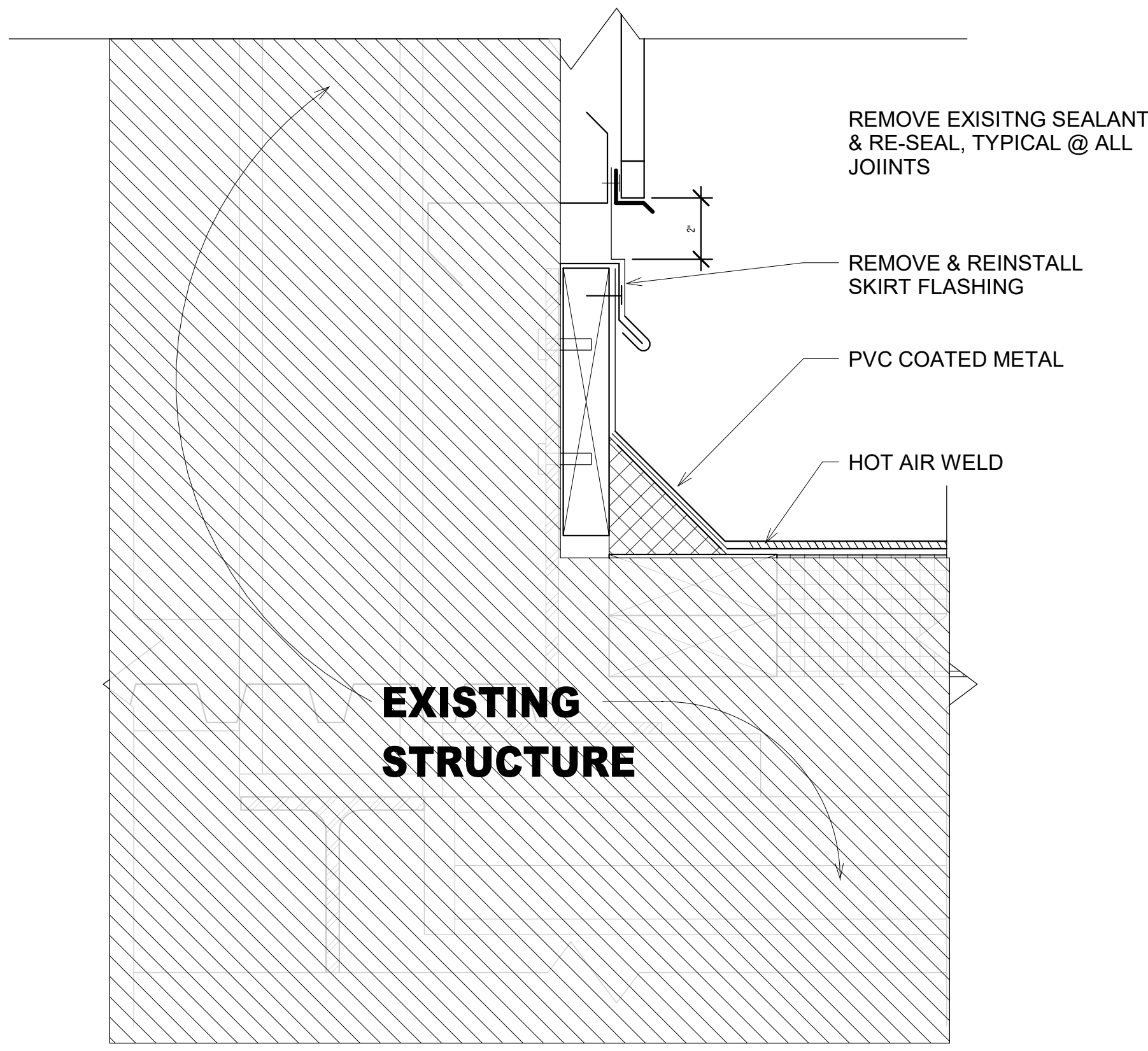
Address: _____

(City)

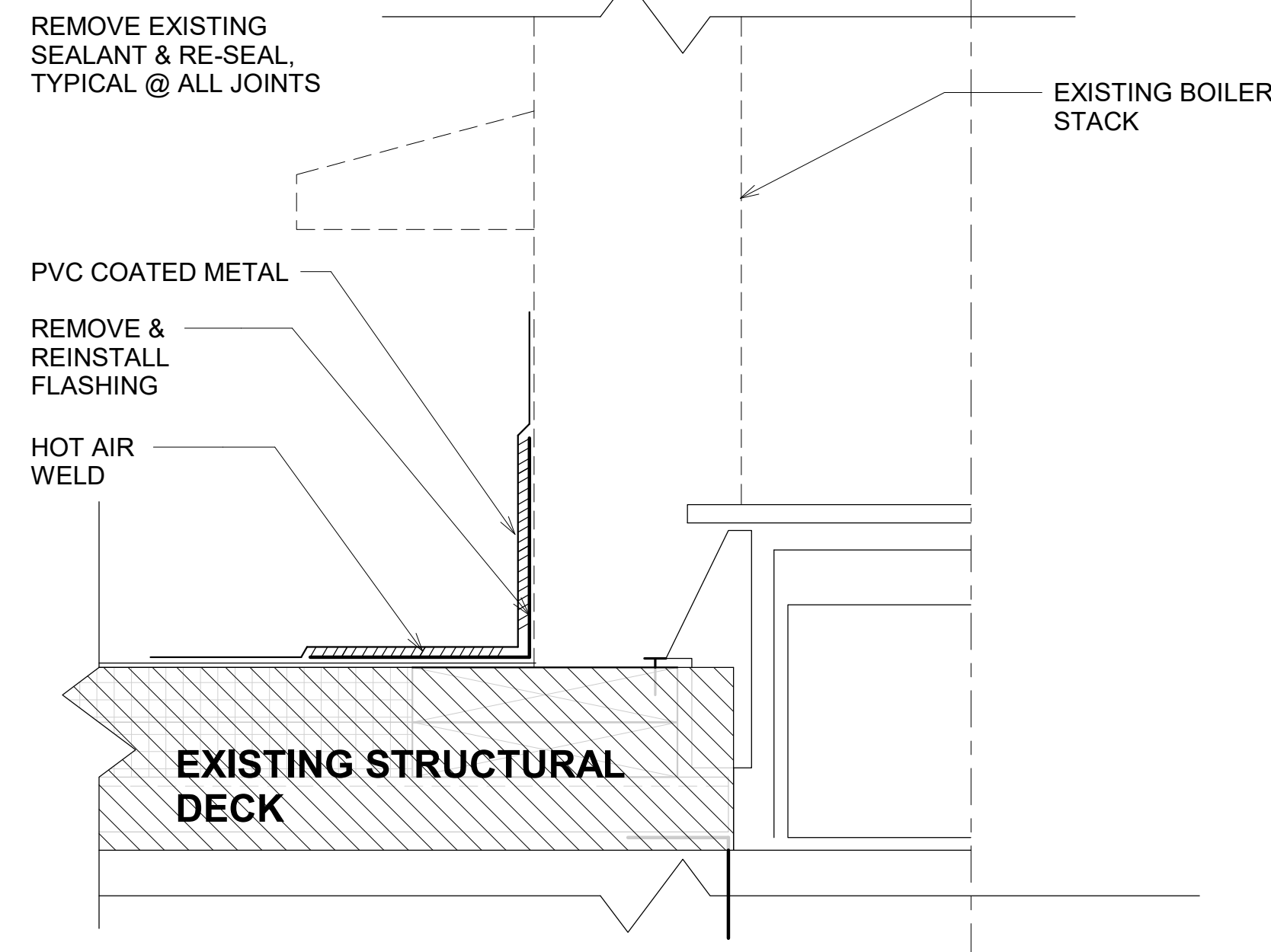
(State)

(Zip Code)

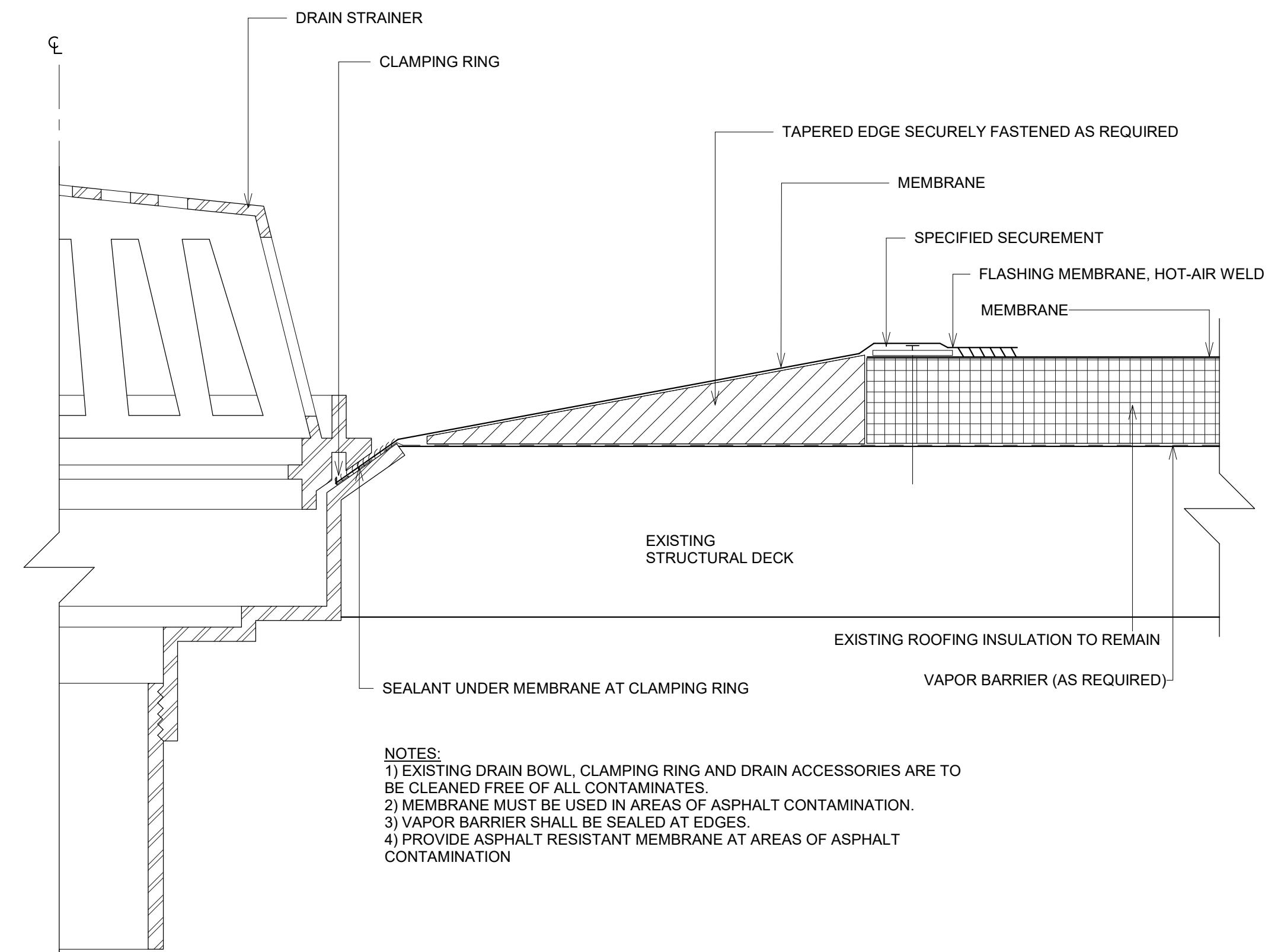
END OF SECTION



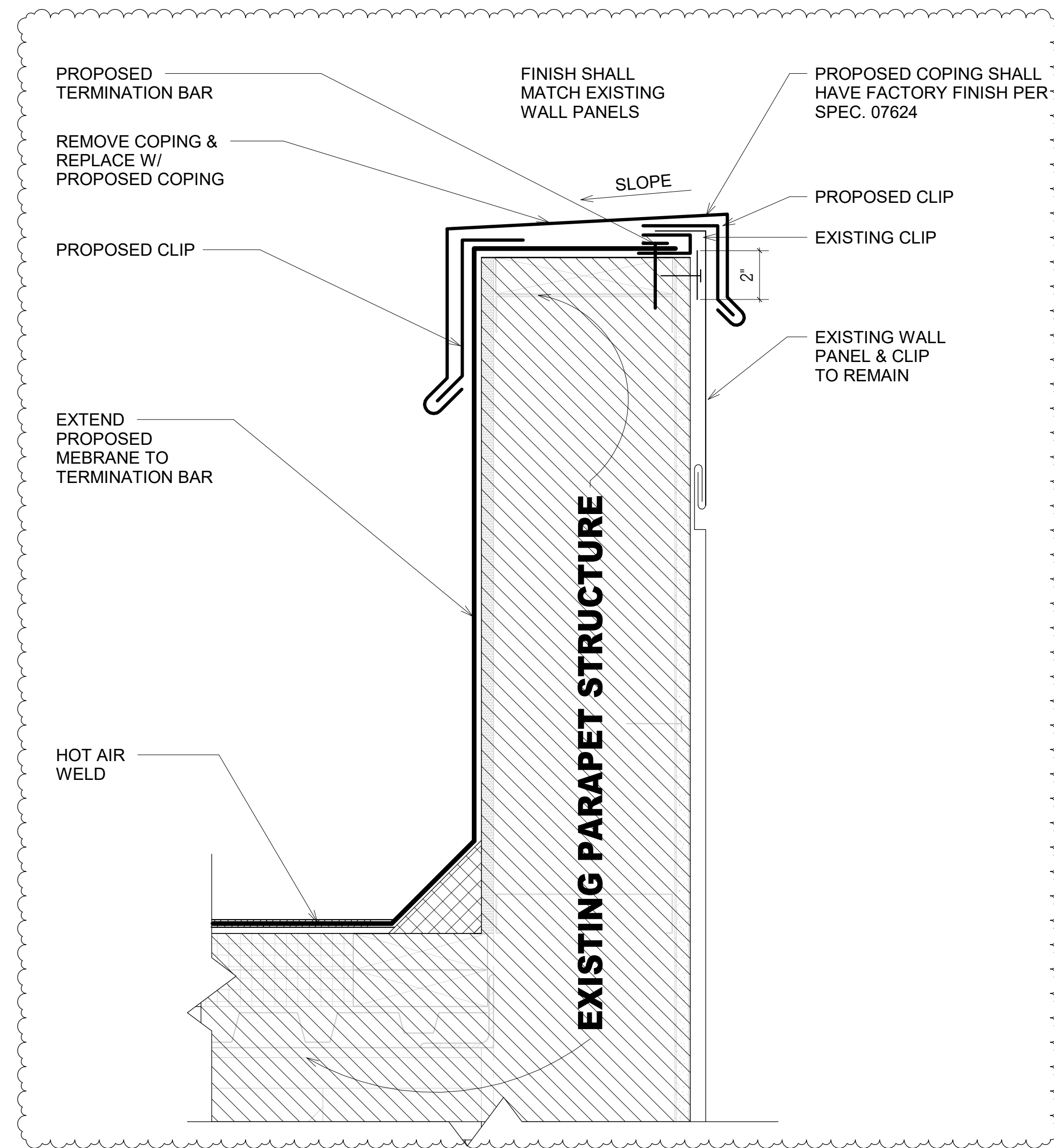
2 ROOF/WALL FLASHING DETAIL
A7.1 SCALE: 3" = 1'-0"



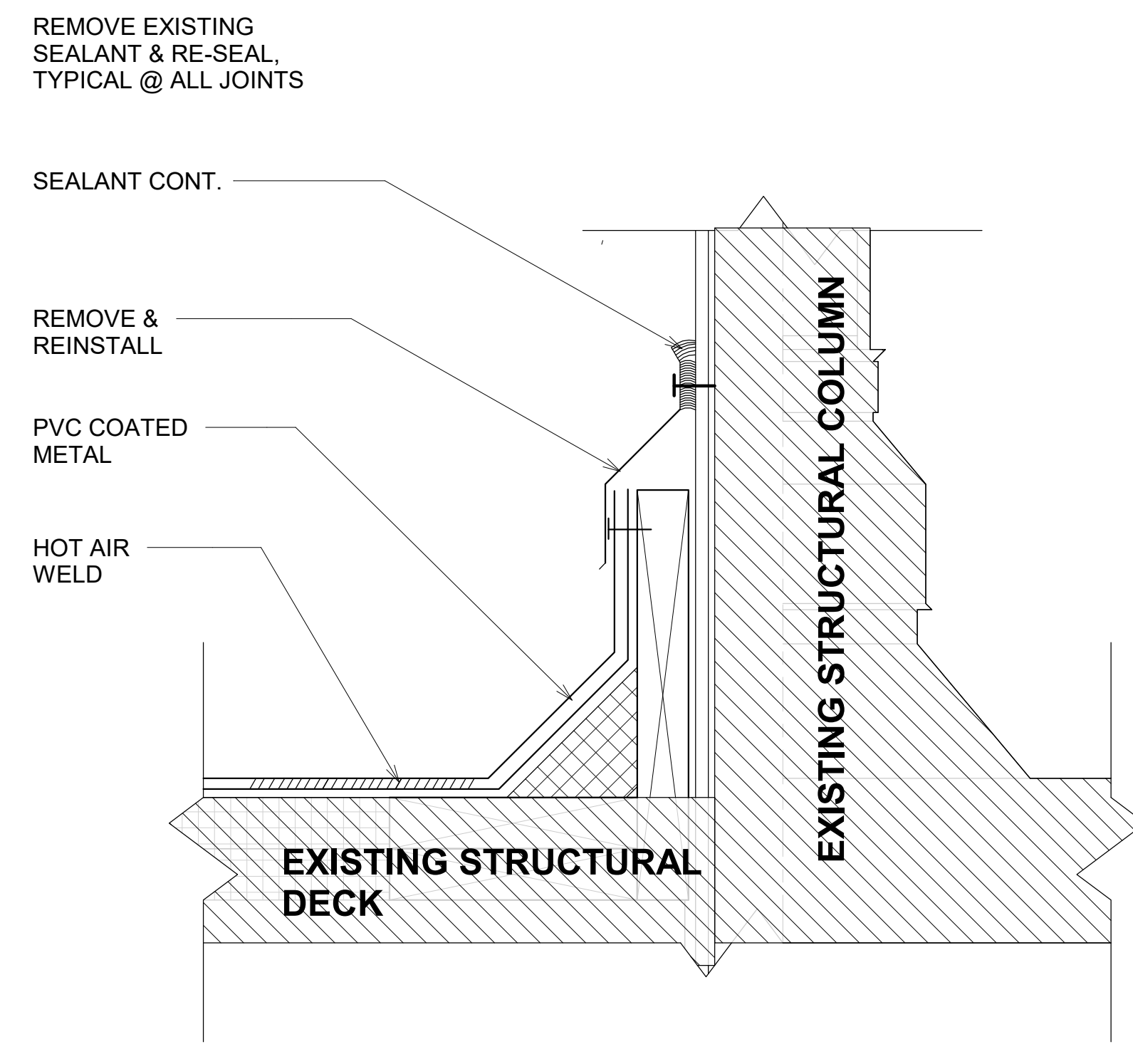
6 BOILER STACK THRU ROOF DETAIL
A7.1 SCALE: 3" = 1'-0"



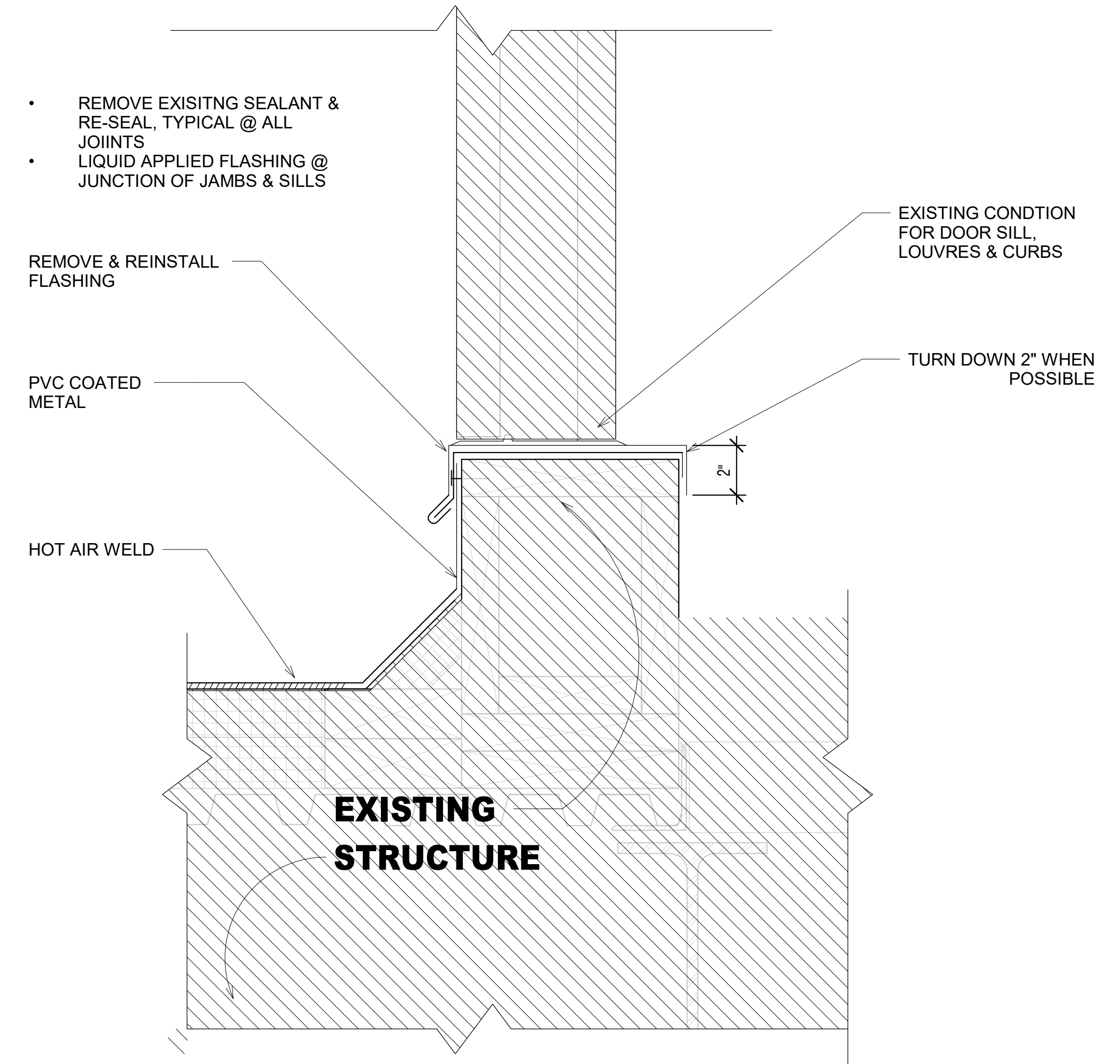
5 ROOF DRAIN DETAIL
A7.1 SCALE: 6" = 1'-0"



3 PARAPET DETAIL
A7.1 SCALE: 3" = 1'-0"

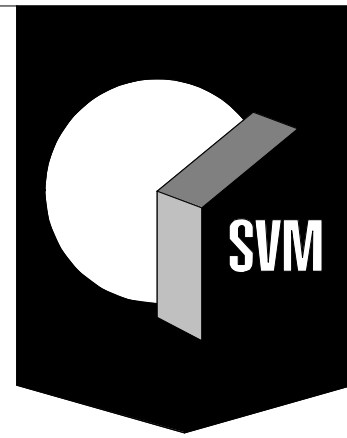


4 COLUMN THRU ROOF DETAIL
A7.1 SCALE: 3" = 1'-0"

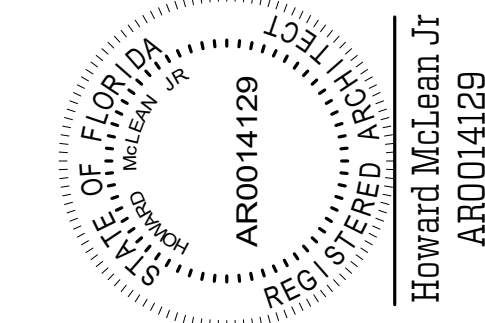


1 SILLS & CURBS DETAIL
A7.1 SCALE: 3" = 1'-0"

NOTE: AT THE TIME OF BUILDING PERMIT APPLICATION, THE ARCHITECT HAS NOT BEEN SO EMPLOYED TO CONDUCT A VISUAL GENERAL SURVEY OF THE PROJECT. THE ARCHITECT HAS NO KNOWLEDGE OF THE START OF CONSTRUCTION NOR DOES HE HAVE KNOWLEDGE OF ANY OTHER REGISTERED ARCHITECT BEING SO EMPLOYED TO FURNISH CONSTRUCTION OBSERVATION OR CONSTRUCTION ADMINISTRATION SERVICES.



SVM | P.352.378.4400 | 1628 NW 6TH STREET
GAINESVILLE FL 32609
SKINNER VIGNOLA McLEAN, INC.
ARCHITECTS & PLANNERS | FL CERTIFICATE | AA3478



01460-25 UF SID MARTIN RE-ROOF
FOR
UF PLANNING, DESIGN & CONSTRUCTION
12066 RESEARCH DR
ALACHUA, FL 32615
BLDG #1041
PROJECT LOCATION:

DESIGN PHASE: 100% CONSTRUCTION DOCS

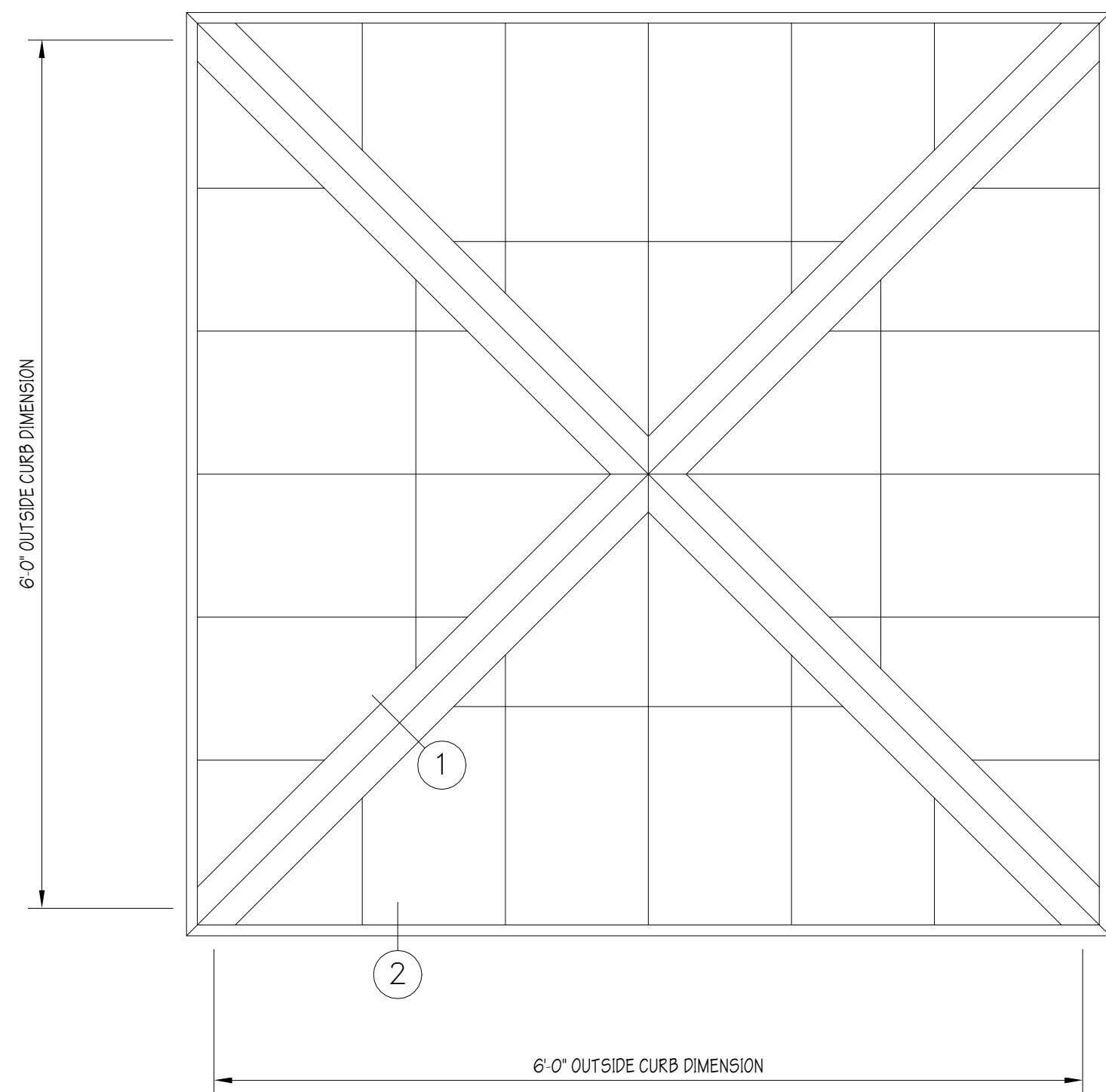
REVISIONS	DATE	BY	CHECKED BY
1	ADD#2	06/04/2019	

DATE: 04/26/2019
DRAWN BY: JER
CHECKED BY: HJM

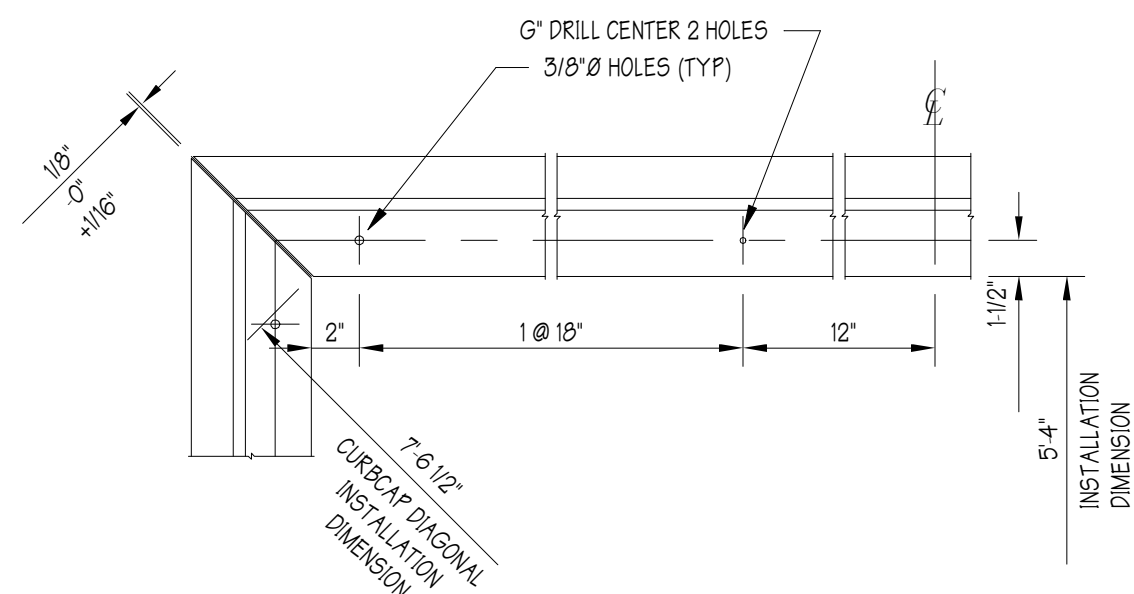
SHEET
A7.1
PROPOSED - DETAILS
01460-25

ALL REPORTS, PLANS, SPECIFICATIONS, COMMENTS, FIELD DATA, NOTES & OTHER DOCUMENTS PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL SHALL RETAIN ALL COMMERCIAL RIGHTS IN THIS DOCUMENT. NO PART OF THIS DOCUMENT OR PROJECT OTHER THAN THE PROJECT WHICH IS SUBJECT OF THE AGREEMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGN PROFESSIONAL.

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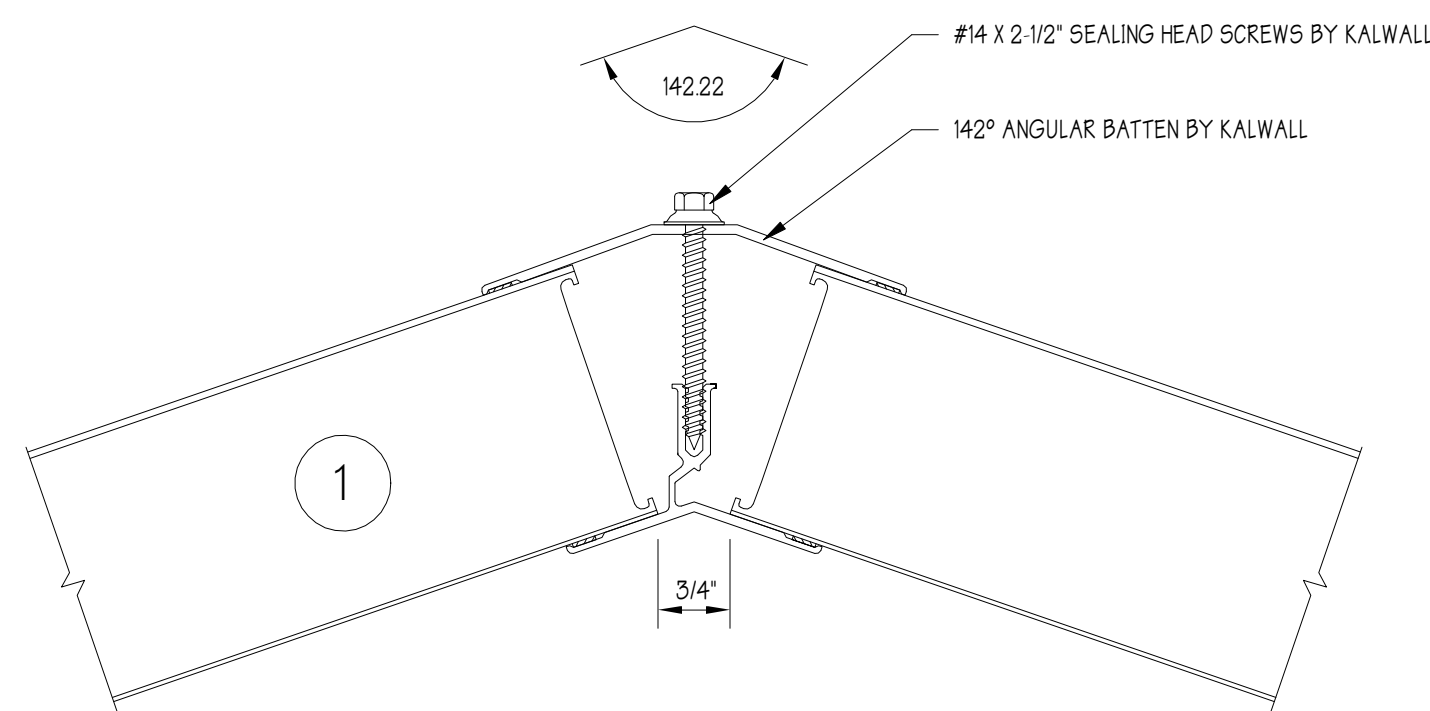
PYRAMID PLAN
NOTE: SHIPPED IN 1 UNIT



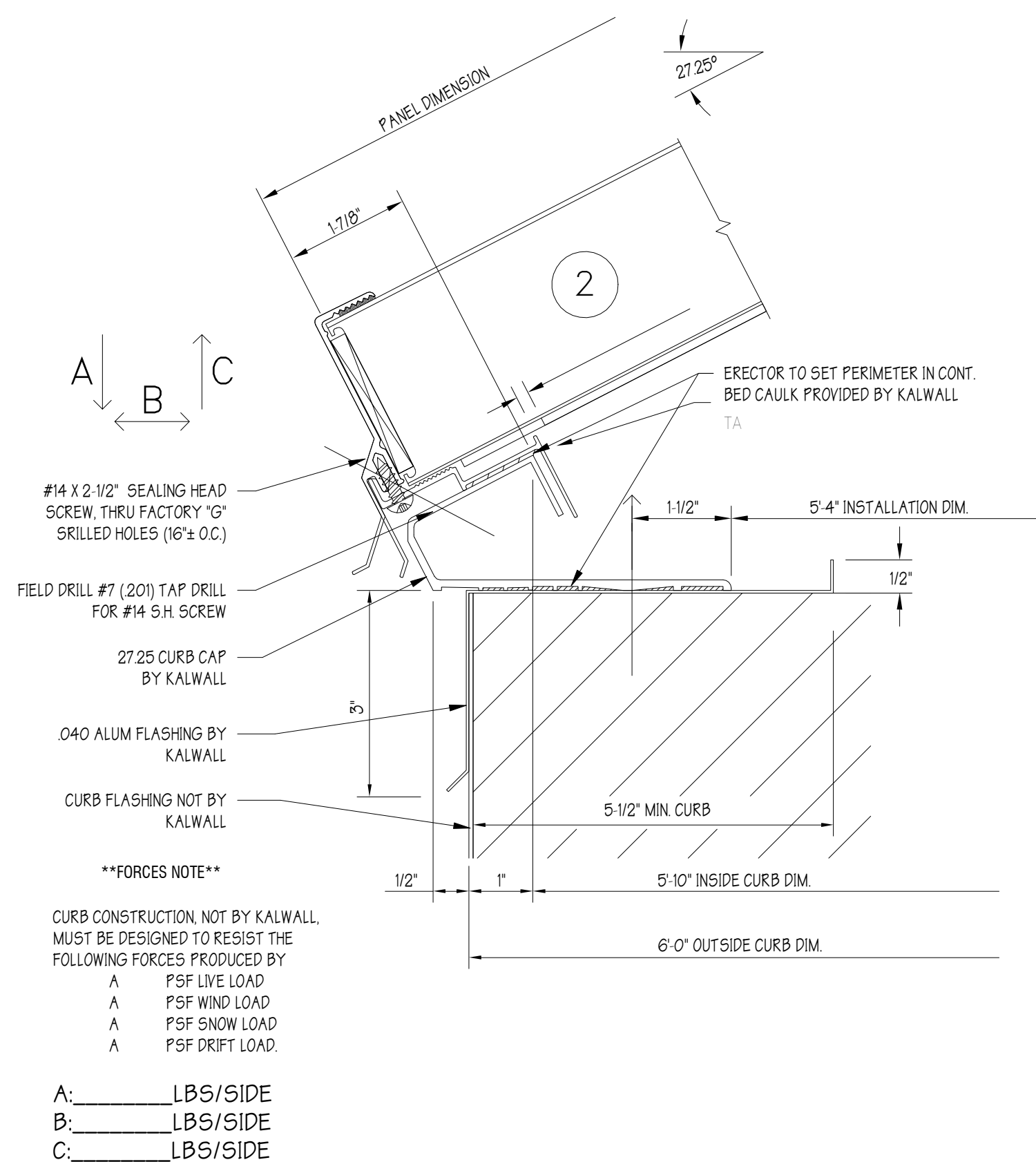
CURB TYPE	FASTENER*	SPACING
WOOD	#14 R.H. S.S. - 4" LG.	24" O.C.
STEEL	#14 R.H. S.S. - 1" LG.	24" O.C.
CONCRETE	1/4" X 3-1/4" POWER STUD CAT #7404	24" O.C.

*NOT SUPPLIED BY KALWALL UNLESS INSTALLED BY KALWALL
ALL FASTENERS TO BE IN HOLE 1/8" LARGER THAN FASTENER DIA. HOLE AT CENTER OF CURB TO BE SAME DIA. AS FASTENER

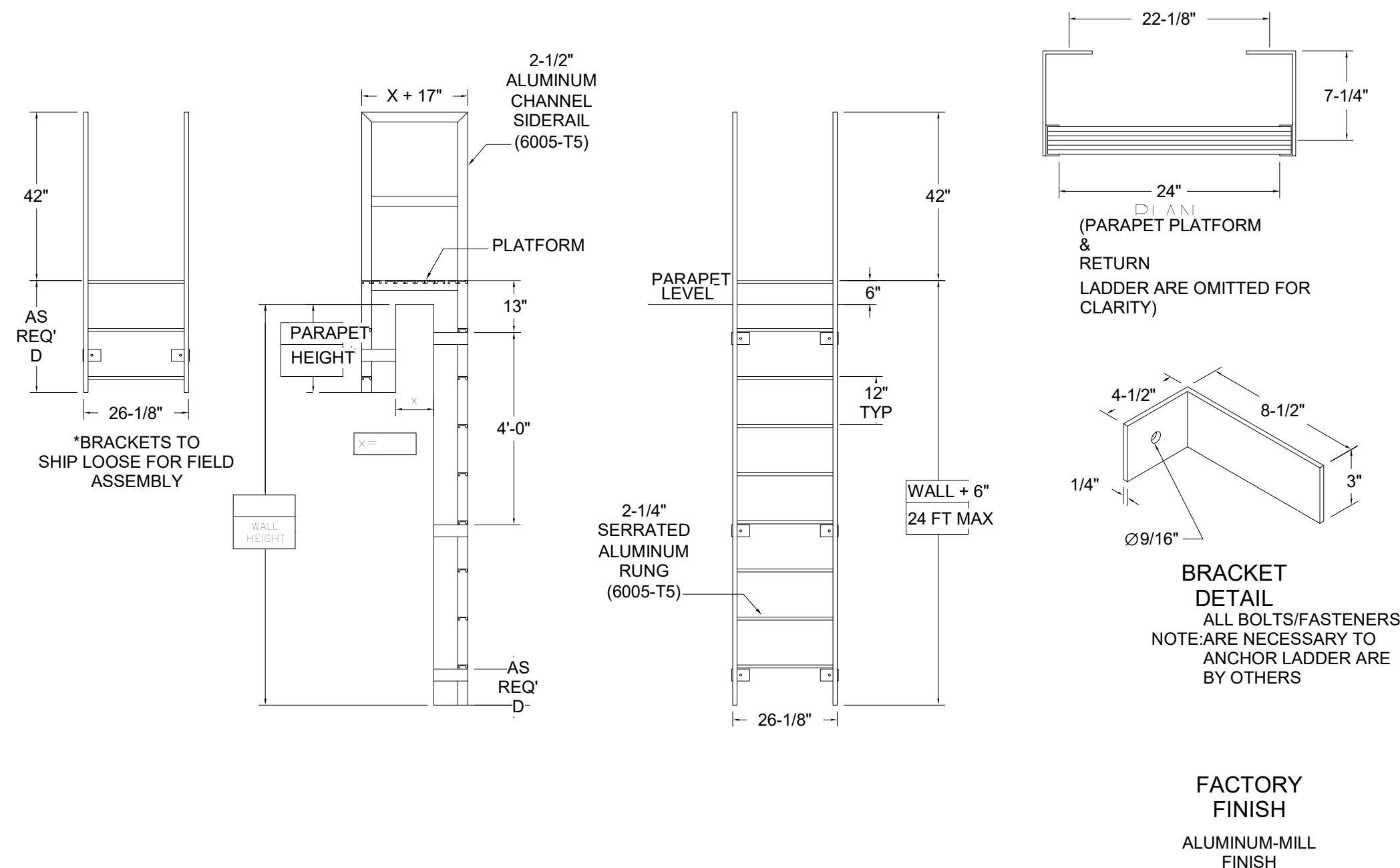
27.25° - 6'-0" PYRAMID



1 ALT. PYRAMID SKYLIGHT DETAILS
SCALE: 1" = 1'-0"

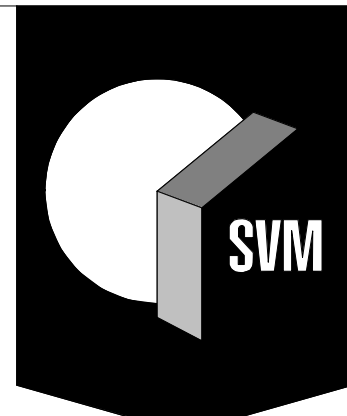


FIXED LADDER WITH PARAPET PLATFORM & ROOFSIDE RETURN

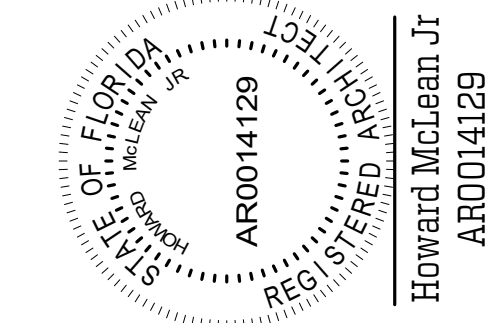


3 LADDER OVER PARAPET DETAIL
SCALE: 3/8" = 1'-0"

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01460-25 UF SID MARTIN RE-ROOF
 FOR
UF PLANNING, DESIGN & CONSTRUCTION
 PROJECT LOCATION:
 12066 RESEARCH DR
 ALACHUA, FL 32615
 BLDG #1041

DESIGN PHASE: 100% CONSTRUCTION DOCS

REVISIONS	DATE
1	06/04/2019

DATE: **04/26/2019**
 DRAWN BY: **JER**
 CHECKED BY: **HJM**

SHEET
A7.2

PROPOSED -
 DETAILS
01460-25